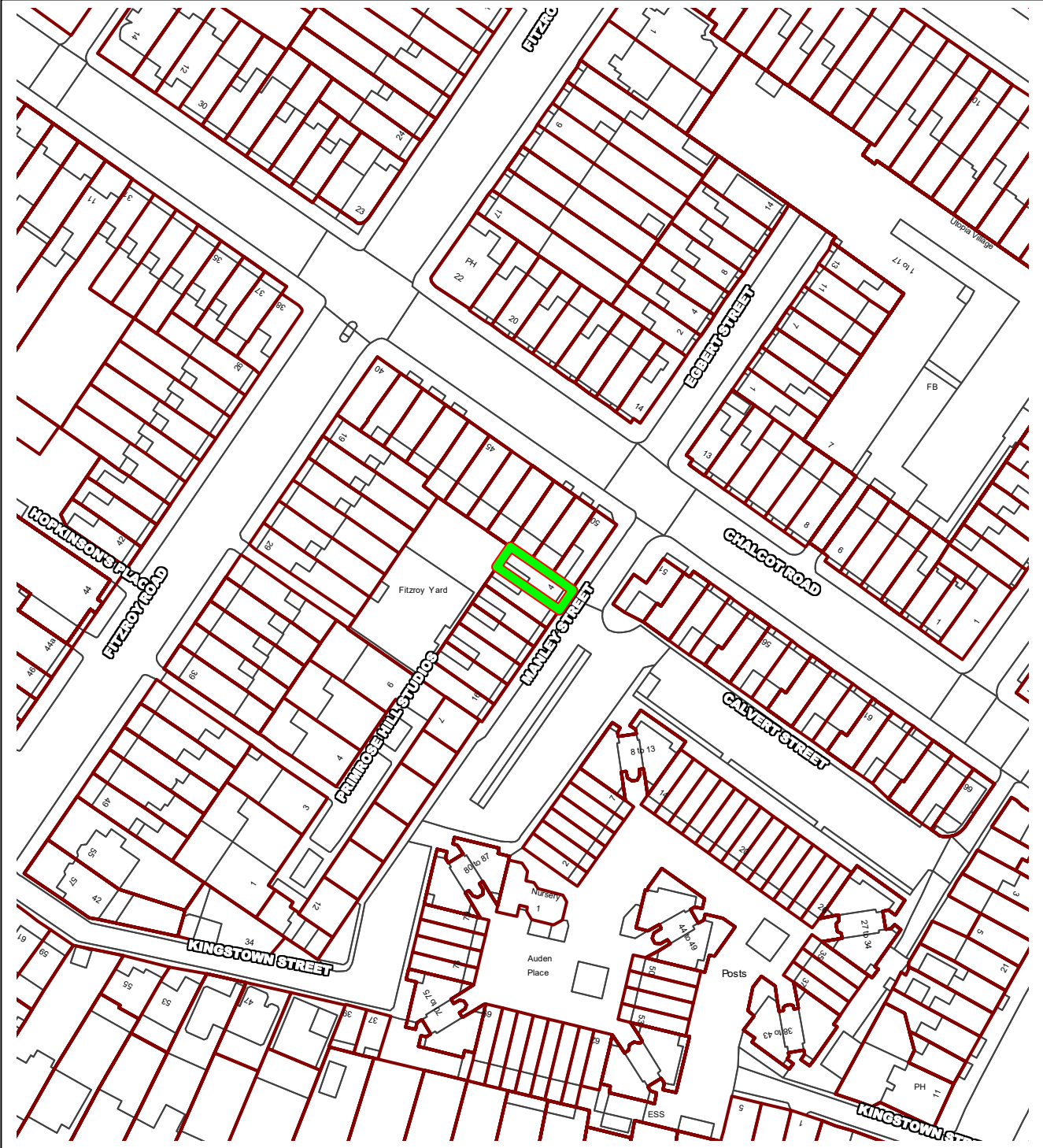


# 2026/1896/P – Flat A, 4 Manley Street



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2026/1896/P – Photos and drawings

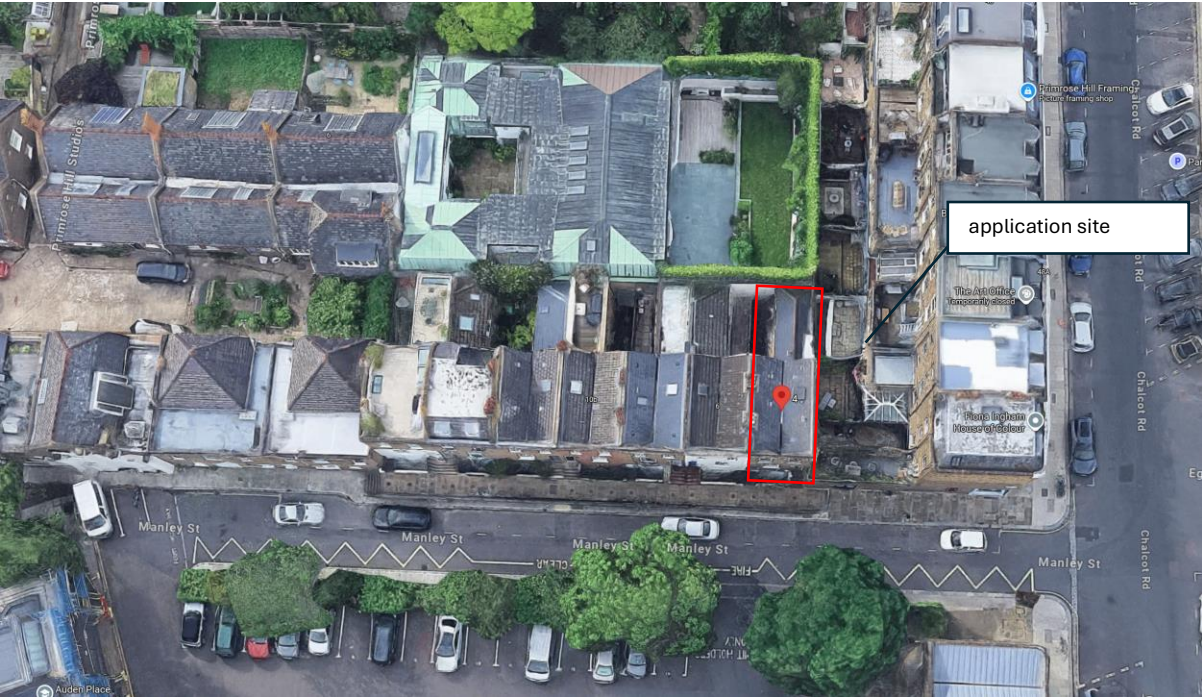


Figure 1: Aerial view of the site (Source: Google)



Figure 2 Side elevation of the rear outrigger (Source: submitted documents)



Figure 3 Rear elevation of application site (Source: submitted documents)



Figure 4 Front elevation of the application site (Source: Google)



Figure 5 Existing rear elevation (Source: submitted documents)



D0.5N

Figure 6 Proposed rear elevation (Source: submitted documents)



Figure 7 Existing front elevation (Source: submitted documents)

Replacement painted timber sash window, to match existing, with heritage double glazing to provide improved enviromental performance of the dwelling



Figure 8 Proposed front elevation (Source: submitted documents)



Figure 9 Existing side elevation (Source: submitted documents)



Figure 10 Proposed side elevation (Source: submitted documents)

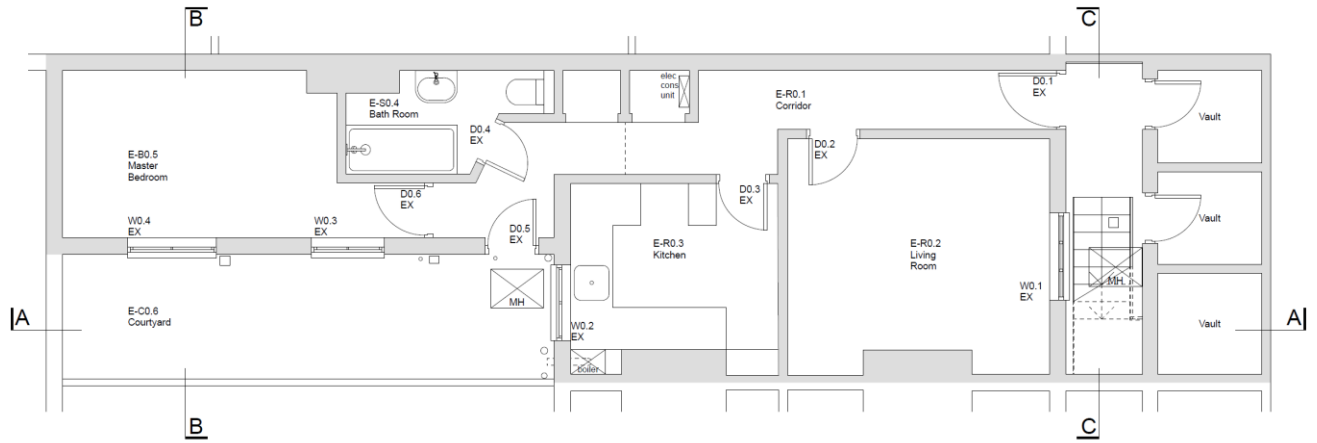


Figure 11 Existing floor plan (Source: submitted documents)

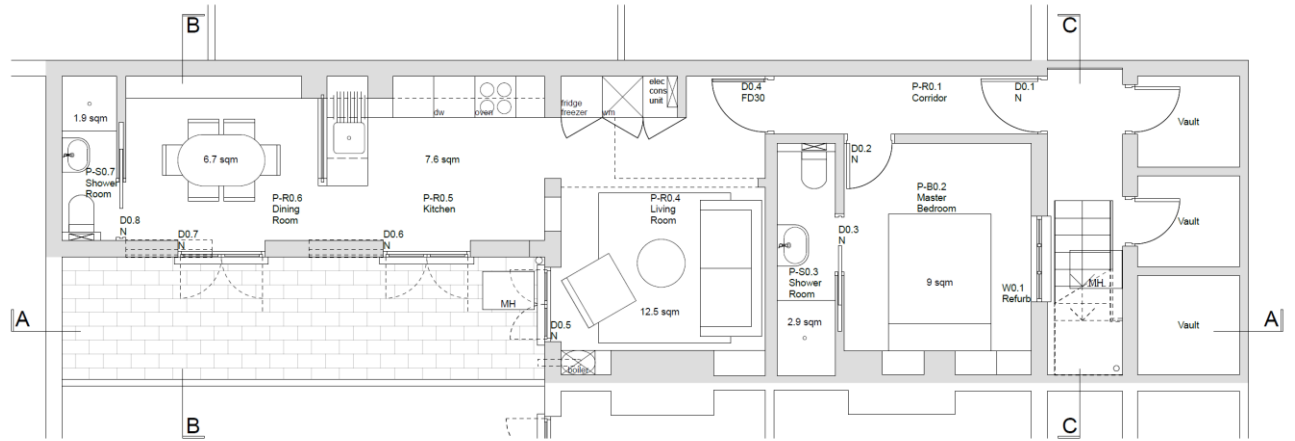


Figure 12 Proposed floor plan (Source: submitted documents)

<b>Delegated Report (Members Briefing)</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>	<b>09/07/2026</b>
		N/A / attached		<b>Consultation Expiry Date:</b>	21/06/2026
<b>Officer</b>			<b>Application Number(s)</b>		
Gary Wong			2026/1896/P		
<b>Application Address</b>			<b>Drawing Numbers</b>		
Flat A 4 Manley Street London NW1 8LT			Refer to draft decision notice		
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>					
Removal of existing rear and side windows and replacement with timber double doors and replacement of front window with double glazed timber window of the lower ground floor flat.					
<b>Recommendation(s):</b>		<b>Granted conditional planning permission</b>			
<b>Application Type:</b>		<b>Full Planning Permission</b>			

<b>Conditions or Reasons for Refusal:</b>	<b>Refer to Draft Decision Notice</b>			
<b>Informatives:</b>				
<b>Consultations</b>				
<b>Adjoining Occupiers:</b>	No. of responses	<b>00</b>	No. of objections	<b>00</b>
<b>Summary of consultation responses:</b>	<p>Site notices were displayed on 22/05/2026 and expired on 15/06/2026.</p> <p>Press notice was published on 28/05/2026 and expired on 21/06/2026.</p> <p>No representation was received from any local residents.</p>			
<b>Primrose Hill CAAC (PHCAAC)</b>	<p>An objection was received from the PHCAAC to the <u>original proposal</u>:</p> <ul style="list-style-type: none"> <li>- The proposed rear door would have a visibly thicker frame than existing and the applicant should replicate the visual language of the existing openings.</li> <li>- There are fundamental alterations to the ground floor openings on side elevation which depart from the original design intent and result in an elevational composition that is no longer coherent, misaligned and poor design.</li> <li>- It is suggested dropping the window openings to the floor on side elevation to retain the original lintels while maintaining the vertical alignment of the openings.</li> <li>- We note that the applicant refers to the neighbouring property as a precedent for the introduction of doors. However, the photos indicate that the door in question was introduced to the rear elevation, while the side elevation contains windows.</li> </ul> <p>Following PHCAAC's comments, a <u>revised scheme</u> has been submitted. PHCAAC has maintained their objection namely to the misalignment on the side elevation.</p> <ul style="list-style-type: none"> <li>- We welcome the reduction in frame thickness to the rear elevation and now support the proposed changes to this elevation, subject to evaluation of details.</li> <li>- While the changes to the proposals for the side elevation constitute an improvement, we remain concerned by the proposed misalignment between the upper and lower level.</li> <li>- While we note that the neighbouring property has not maintained elevational coherence, this cannot serve as a justification for the further alteration of important features.</li> <li>- We suggest the applicant interrogates internal layouts that would allow for the opening to remain in their original position.</li> </ul> <p><i>Officer's response:</i></p> <ul style="list-style-type: none"> <li>- The proposed doors on the side elevation are reduced in width and frame thickness, reintroduce Victorian arch of header bricks above, and add muntin to the glazing. The revised scheme is considered acceptable in terms of design and heritage impact and would not adversely affect the character and appearance of the host building and the conservation area.</li> <li>- Please refer to section 2 for full assessment on design and heritage impact.</li> </ul>			

## Site Description

The application site consists of a three-storey terrace building to the northwest of Manley Street. The pavement is raised above normal level with steps up providing access to a small Victorian terrace of railway works cottages. The building is not listed and is a positive contributor to the Primrose Hill Conservation Area.

The building is divided into three flats and the proposal relates to the lower ground floor flat, Flat A only.

## Relevant History

### Application site

**23086** - Change of use into three self-contained dwelling units, including works of conversion.– **Granted permission on 03/09/1976**

### Neighbouring site

*16 Manley Street*

**2021/1257/P** - Installation of terrace access structure at main roof level and walk-on skylights at first floor and main roof level; replacement metal balustrades at ground, first and roof levels to rear; alterations to fenestration including enlarged door to ground floor terrace – **Granted permission on 14/06/2021**

**2012/2167/P** - Erection of single-storey rear glazed extension a lower ground floor level within the existing courtyard, installation of french doors and juliette balcony at rear upper ground floor level facing courtyard, a new door at first floor level, and metal balustrading to existing rear ground and first floor level terraces, alterations at roof level to create new terrace enclosed by metal balustrading all in connection with existing residential dwelling (Class C3). – **Granted permission on 29/06/2012**

## Relevant policies

### **National Planning Policy December Framework (2024) (Amended 2025)**

#### **Draft National Planning Policy December Framework (2025)**

The Government published a draft revised National Planning Policy Framework (NPPF) in December 2025, which is currently out for public consultation until 10 March 2026 and is therefore not yet adopted policy. As an emerging national policy document, the draft NPPF may be afforded material consideration in decision-making, though only limited weight at this stage. It is not considered that there are any material differences between the draft and current NPPF in relation to this planning application.

#### **The London Plan (2021)**

##### **Camden Local Plan (2017)**

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

##### **Camden Planning Guidance:**

- CPG Amenity (Jan 2021)
- CPG Design (Jan 2021)
- CPG Home Improvements (Jan 2021)

#### **Primrose Hill Conservation Area Management Statement (2000)**

##### **Draft Camden Local Plan (2025)**

The Council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The Proposed Submission Draft Camden Local Plan was submitted to the Secretary of State for Housing, Communities and Local Government on the 3 October 2025 for independent examination, in accordance with Regulation 22 of the Town and Country Planning (Local Planning) (England) Regulations 2012 (as amended). The Plan has been examined by a Planning Inspector which ended on 11 June 2026.

The Proposed Submission Draft Local Plan is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to an emerging plan increases as it progresses towards adoption. In line with paragraph 49 of the National Planning Policy Framework (NPPF), the degree of weight to be given is a matter for the decision-maker, having regard to the stage of preparation, the extent of unresolved objections, and the consistency of the draft policies with the NPPF.

## Assessment

### 1. The proposal

#### *Original scheme*

1.1. The original proposal included a like for like replacement to a lower ground floor front window and installation of double glazed timber French doors with two full-height panes within on side and rear elevations.



Figures 1 & 2 – original scheme – proposed rear and side elevations

#### *Revised scheme*

1.2. A revised scheme has been received addressing the Primrose Hill CAAC's comments on the proposed doors on side and rear elevations. The revised scheme would include timber doors with reduced frame thickness and width of the openings, muntin added to the glazing to match the existing fenestration, reintroduction of Victorian arch of header bricks above the openings. No change to the proposed front window replacement.



Figures 3 & 4 – revised scheme – proposed rear and side elevations

### 2. Design

#### Policy context

2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 advises the Council will preserve and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed

buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

- 2.2. CPG Design states that design and schemes should consider the context of a development and its surrounding area and the design of the building itself. CPG Home Improvements advises new windows and doors should generally be designed and composed of materials and finishes sympathetic to the original window and/or doors to the building.

### Assessment

- 2.3. The revised scheme has amended the designs and details of the doors by reducing the frame thickness, the width of the openings, adding muntin to the glazing and reintroducing Victorian arch of header bricks. The division of the door glazing and inclusion of header bricks would match the rest of the fenestrations of the host building. As such the revised scheme is considered acceptable and would preserve the character and appearance of the host building.
- 2.4. The proposed alterations on side elevation would be limited to the lower ground floor level of the rear outrigger only. This side elevation at lower ground floor would be surrounded by other buildings and would have limited visibility from the wider conservation area. As such the resulting visual impact is considered limited and would not adversely affect the character and appearance of the Primrose Hill Conservation Area.
- 2.5. The existing lower ground floor side windows and access door are already in different sizes and are not in complete alignment with the upper floor windows. Whilst the new side doors would not be aligned with the upper floor windows on this elevation, this is not considered to cause adverse visual impact from the existing arrangement. It can be seen that some other properties along this part of Manley Street such as No.6 and 16 also have side fenestrations on lower ground floor which are not aligned with the upper floor fenestrations. As such the proposal would not be out of context with the surrounding development and would have acceptable visual impact to the wider conservation area.
- 2.6. Overall, the visual impact from the proposal is considered acceptable and would not be harmful to the character and appearance of the host building or Primrose Hill Conservation Area. The proposed development is in accordance with policies D1 (Design) and D2 (Heritage) of the London Borough of Camden Local Plan 2017.

### **3. Amenity**

- 3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development.
- 3.2. The proposed works include replacements of windows and doors with no additional new openings. The works are limited to lower ground floor level only. Given the nature and location of the proposed works, they are not considered to cause any undue harm on amenity in terms of loss of light, outlook or privacy to any adjoining occupiers.
- 3.3. Overall, the amenity impact in terms of loss of light, outlook or privacy is considered acceptable and in accordance with policy A1 (Managing the impact of development) of the London Borough of Camden Local Plan 2017.

### **4. Biodiversity Net Gain (BNG)**

- 4.1. BNG is an approach to development that ensures that habitats for wildlife are left in a measurably better state than they were before the development. Developers must deliver a BNG target of 10%, which means a development will result in more or better-quality natural habitat than there was before development. Biodiversity net gain (BNG) is mandatory from 12 February 2024.
- 4.2. The proposal would be exempted from the BNG requirements as it is below the de minimis threshold.

### **5. Conclusion**

- 5.1. The proposed development is in general accordance with policies A1 (Managing the impact of development), D1 (Design) and D2 (Heritage) of the Camden Local Plan 2017, the London Plan 2021, the National Planning Policy Framework 2024.

### **6. Recommendation**

- 6.1. Grant conditional full planning permission.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 13<sup>th</sup> July 2026, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2026/1896/P  
Contact: Gary Wong  
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Email: [gary.wong@camden.gov.uk](mailto:gary.wong@camden.gov.uk)  
Date: 7 July 2026

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Wilkinson King Architects  
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London  
London  
N2 9LT  
GB

# DRAFT

Dear Sir/Madam

**DECISION**

Town and Country Planning Act 1990 (as amended)

## **Full Planning Permission Granted**

Address:

**Flat A**  
**4 Manley Street**  
**London**  
**NW1 8LT**

# DECISION

Proposal:

Removal of existing rear and side windows and replacement with timber double doors and replacement of front window with double glazed timber window of the lower ground floor flat.

Drawing Nos: SWK-120-00-PL-E-001; SWK-120-XX-PL-E-201; SWK-120-XX-PL-P-252 Rev.P-01; SWK-120-XX-PL-E-202 Rev.P-01; SWK-120-00-PL-P-150 Rev.P-02; SWK-120-XX-PL-E-200 Rev.P-01; SWK-120-XX-PL-P-250 Rev.P-02; SWK-120-XX-PL-P-251 Rev.P-02; SWK-120-00-PL-E-100 Rev.P-02.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

SWK-120-00-PL-E-001; SWK-120-XX-PL-E-201; SWK-120-XX-PL-P-252 Rev.P-01; SWK-120-XX-PL-E-202 Rev.P-01; SWK-120-00-PL-P-150 Rev.P-02; SWK-120-XX-PL-E-200 Rev.P-01; SWK-120-XX-PL-P-250 Rev.P-02; SWK-120-XX-PL-P-251 Rev.P-02; SWK-120-00-PL-E-100 Rev.P-02.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including (but not limited to) fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, [Building.Control@camden.gov.uk](mailto:Building.Control@camden.gov.uk) (tel: 020-7974 4444).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless: (a) a Biodiversity Gain Plan has been submitted to the planning authority, and (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).

5 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
  - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
  - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
  - The application is a Householder Application.
  - It is for development of a "Biodiversity Gain Site".
  - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
  - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

6 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990  
If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development  
In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer