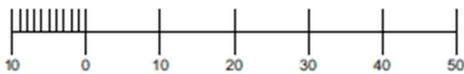


2025/5416/P

Flat A, 28 Parkhill Road, London, NW3 2YP



Produced on 09 January 2025 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.
This map shows the area bounded by 527744 184924, 527844 184924, 527844 185024, 527744 185024, 527744 184924
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Data licence expires 09 January 2026. Unique plan reference: v1f/1193571/1603563



LOCATION PLAN 1:1250

2025/5416/P 28 Flat A, Parkhill Road, London, NW3 2YP

Drawings

Figure 1: Existing Ground Floor Plan

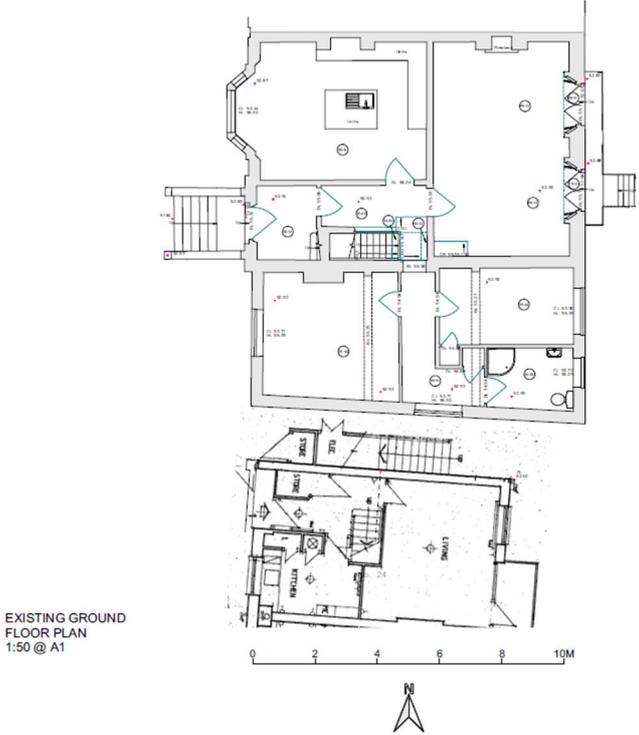


Figure 2: Proposed Ground Floor Plan (with Balcony and Green Roof)

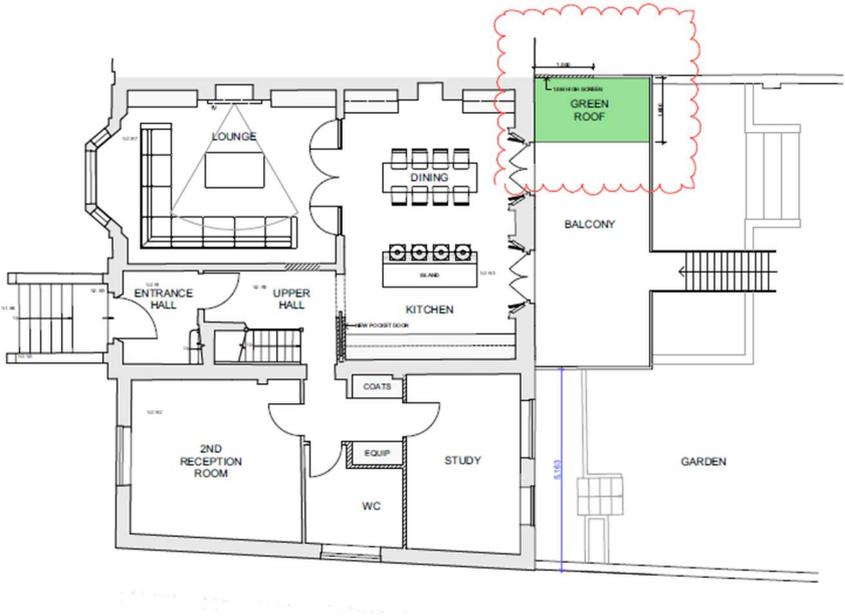


Figure 3: Existing Lower Ground Floor plan

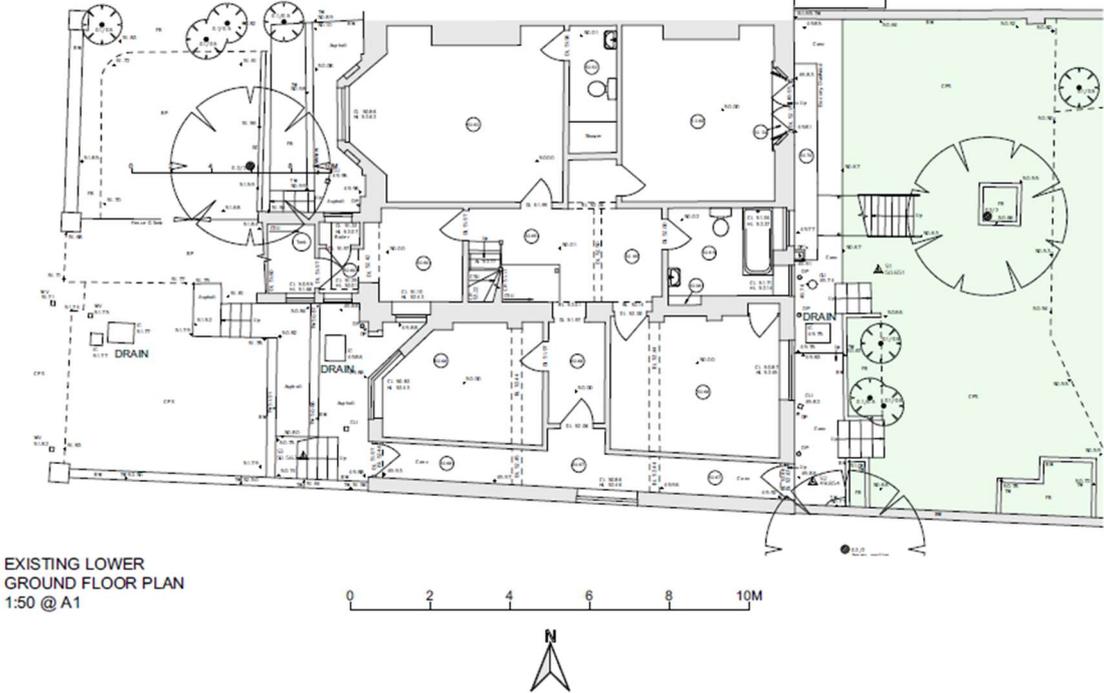


Figure 4: Proposed lower ground floor plan (with single storey ground floor extension)

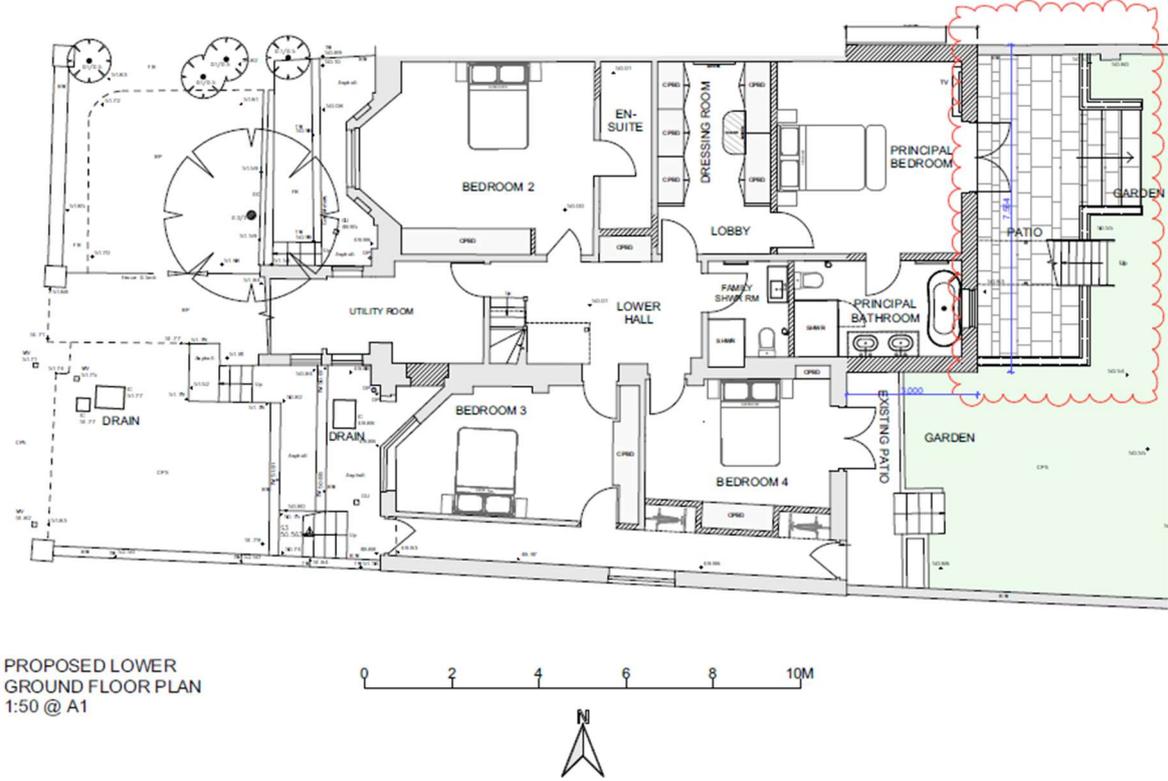


Figure 5: Existing Elevation (Front Elevation and Side elevation)



Figure 6: Proposed side elevation (With privacy screen)

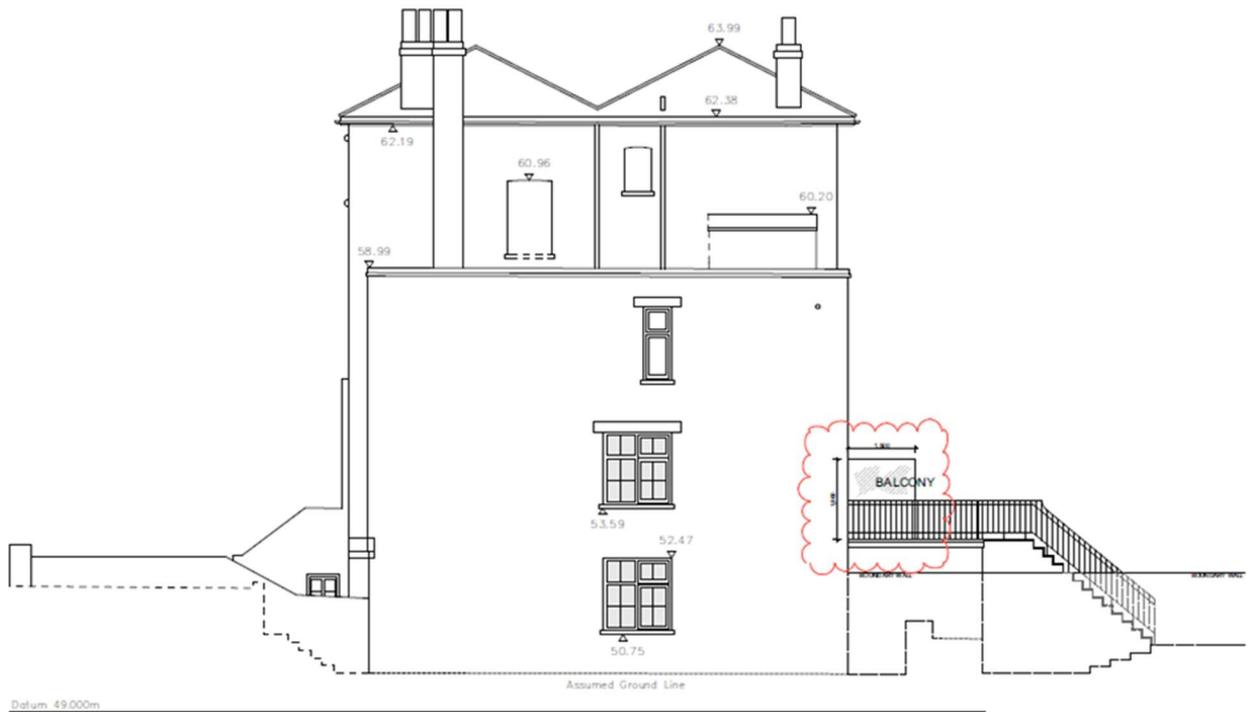


Figure 7: Proposed Front and Side elevation (with relocation of staircase)



Figure 8: Proposed Rear elevation with proposed single storey rear extension with green roof



Figure 9: Proposed Rear elevation



Figure 10: Existing and Proposed Section

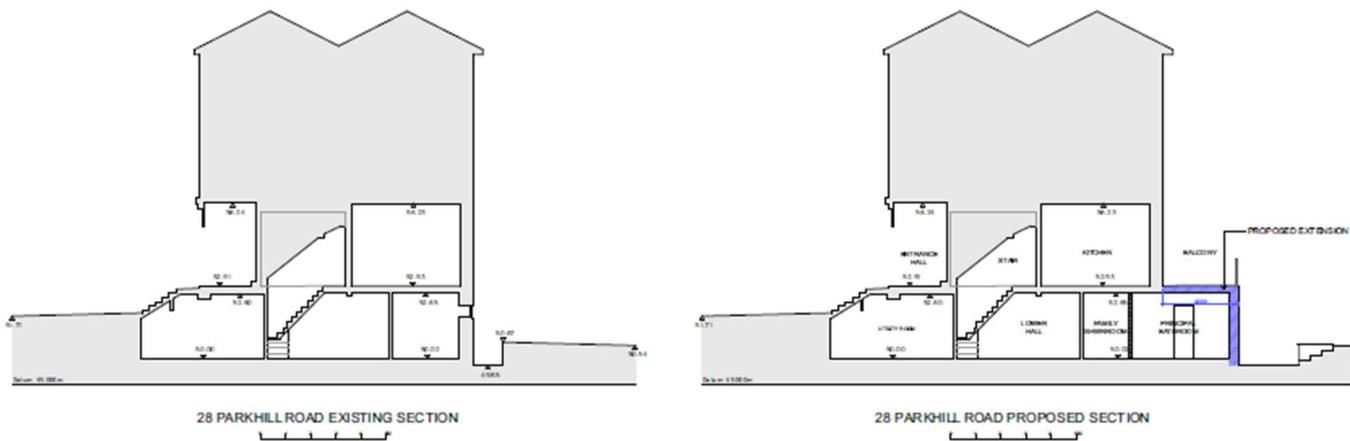


Figure 11: Existing Roof Plan

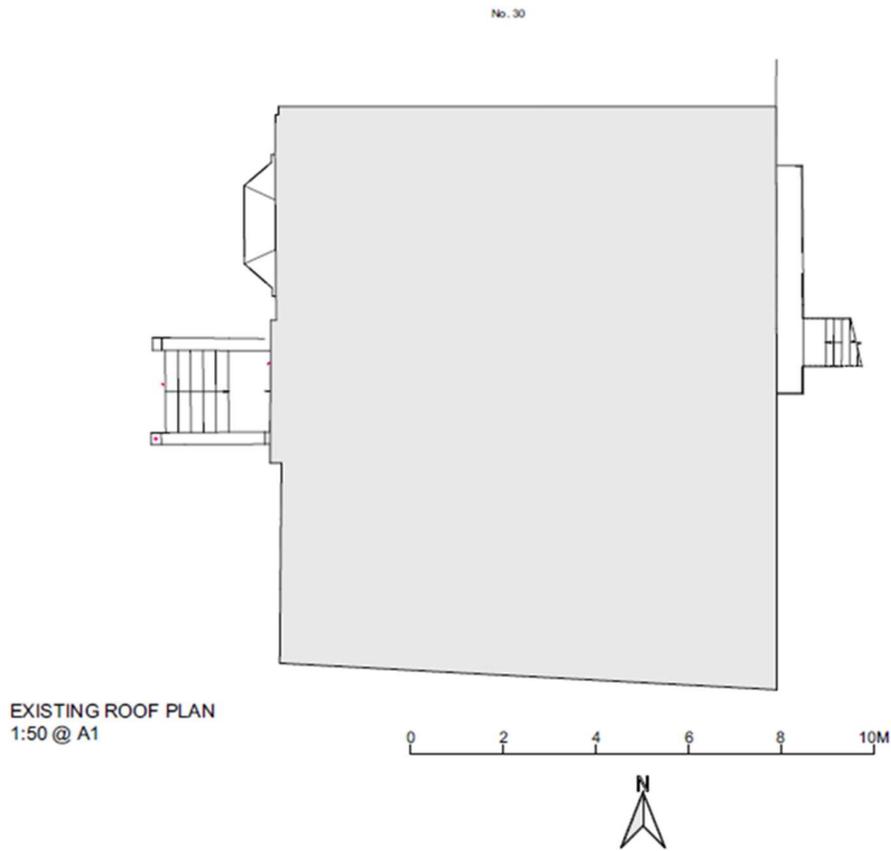


Figure 12: Proposed Roof Plan

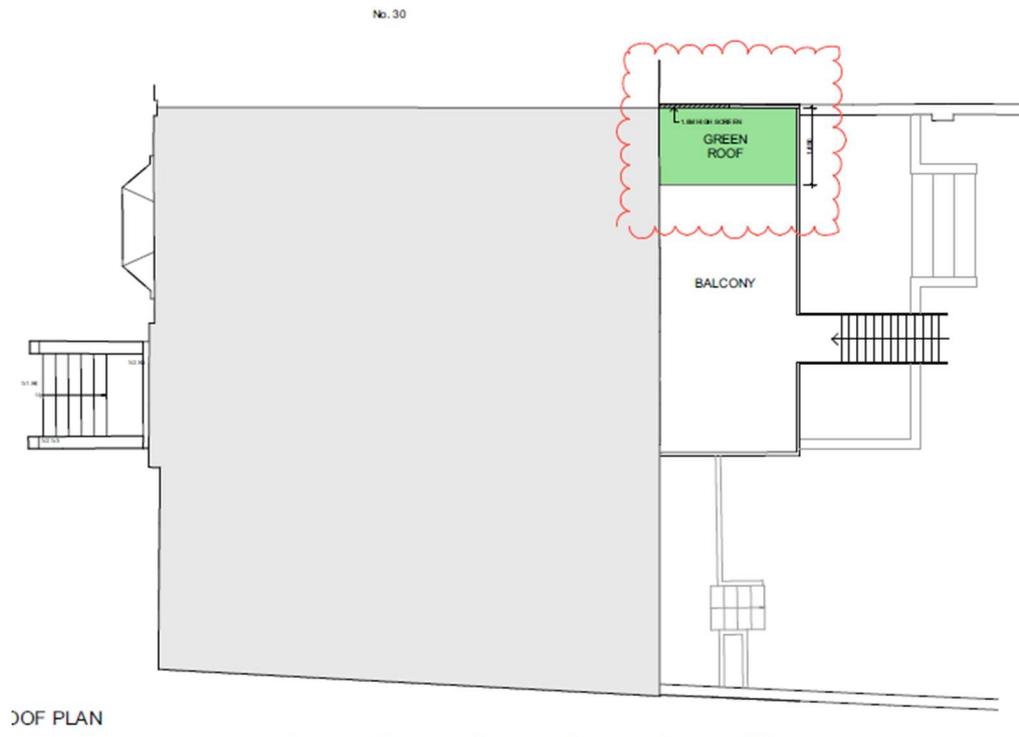


Figure 13: Existing Site Plan

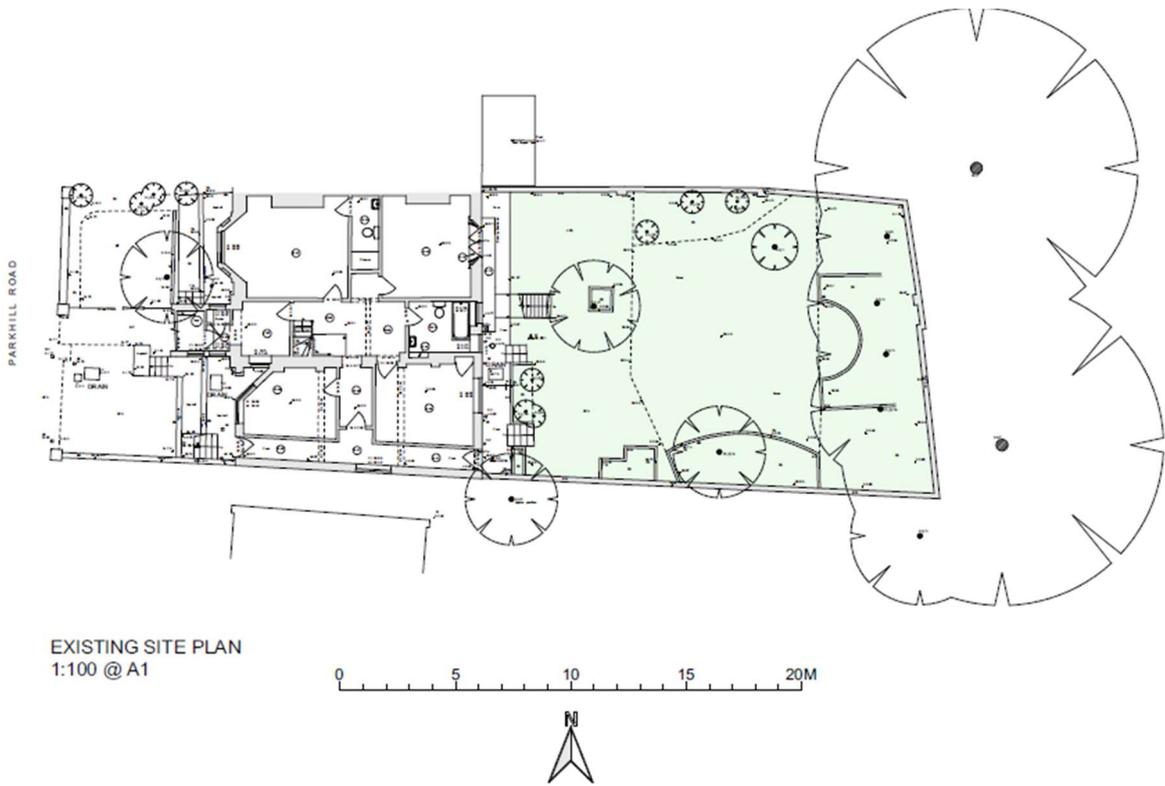
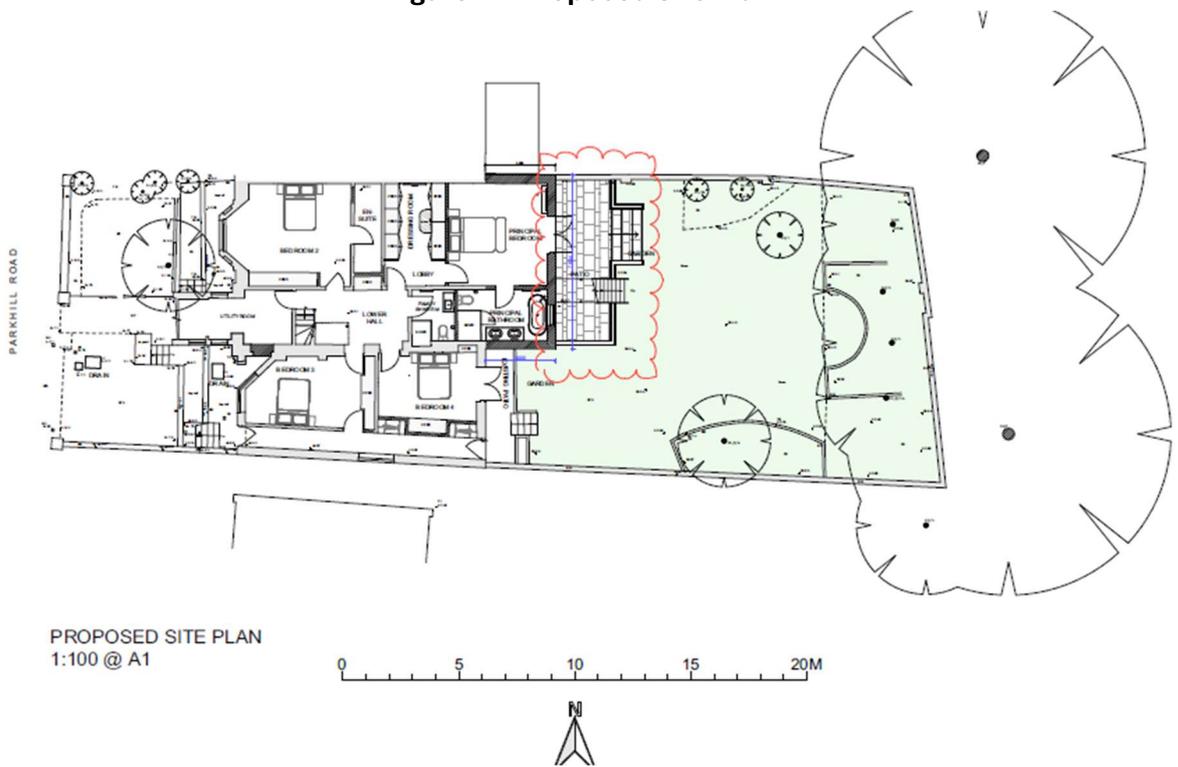


Figure 14: Proposed Site Plan



Site Photos

Figure 15: Existing Rear elevation



Figure 16: Existing Rear elevation



Figure 17: Aerial Photographs

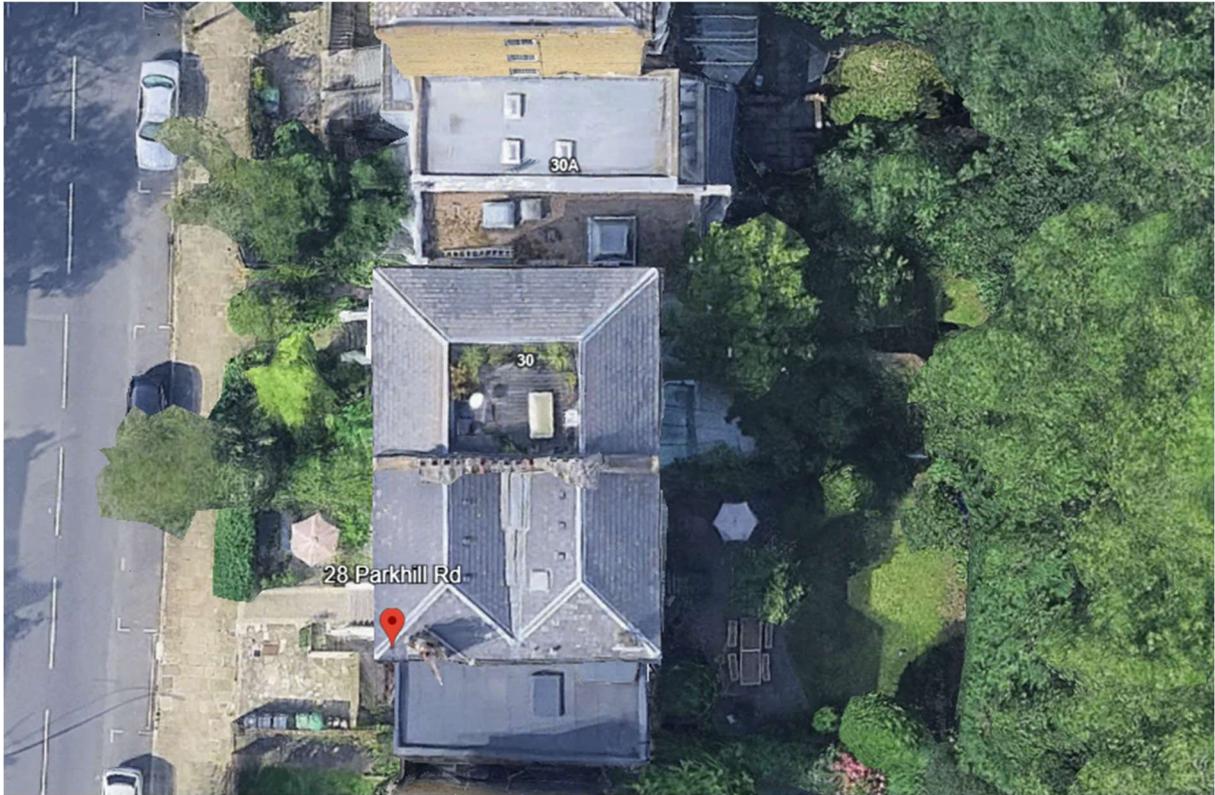
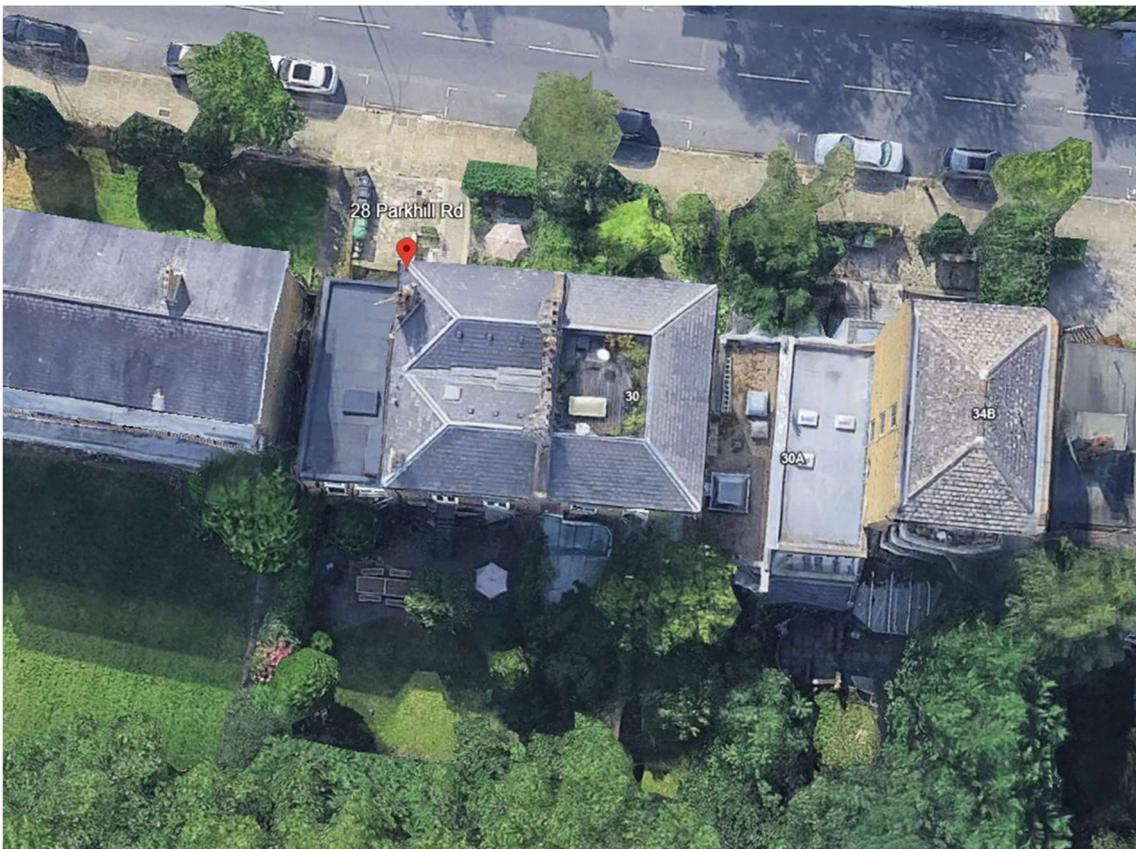


Figure 18: Aerial Photographs



Application ref: 2025/5416/P
Contact: Henry Yeung
Tel: 020 7974 3127
Email: Henry.Yeung@camden.gov.uk
Date: 10 March 2026

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Shaun Knight Architecture Ltd
40 Falcon Road
Hampton
TW12 2RA

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**Flat A, 28 Parkhill Road
London
NW3 2YP**

DECISION

Proposal:

Rear extension at lower ground level and installation of railings at upper ground floor level to form terrace.

Drawing Nos: 248-054B; 248-053; 248-052B; 248-051A; 248-050; 248-065C; 248-064A; 248-063B; 248-062; 248-061A; 248-060A; 248-059; 248-058C; 248-057; 248-056B; 248-055; Design and Access Statement

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

248-054B; 248-053; 248-052B; 248-051A; 248-050; 248-065C; 248-064A; 248-063B; 248-062; 248-061A; 248-060A; 248-059; 248-058C; 248-057; 248-056B; 248-055; Design and Access Statement

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The use of the roof as a terrace shall not commence until the screen, as shown on the approved drawings, has been constructed. The screen shall be permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

- 5 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include

- i. a detailed scheme of maintenance
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used [for large areas of green roof add in : and showing a variation of substrate depth with peaks and troughs]
- iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street

London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 2 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 4 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 5 Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan has been submitted to the planning authority, and
(b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because It is below the de minimis threshold

- 6 Biodiversity Net Gain (BNG) Informative (2/3):
+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

7 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

DRAFT

DECISION

Delegated Report		Analysis sheet	Expiry Date:	12/02/2026
		N/A / attached	Consultation Expiry Date:	17/01/2026
Officer			Application Number(s)	
Henry Yeung			2025/5416/P	
Application Address			Drawing Numbers	
Flat A 28 Parkhill Road London NW3 2YP			Refer to Draft Decision Notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Rear extension at lower ground level with installation of railings at upper ground floor level to form terrace.				
Recommendation(s):	Grant Planning Permission			
Application Type:	Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	02	No. of objections	02
			No. electronic	02		
Summary of consultation responses:	<p>Site Notices: displayed from 24/12/2025 – 17/01/2026</p> <p>Press Notice: displayed from 24/12/2025 – 17/12/2026</p> <p>Two objections have been received from neighbours, including at the attached property, 30 Parkhill Road. Objections raised relate to:</p> <ol style="list-style-type: none"> Overlooking and Loss of Privacy <p>The proposed terrace would sit approximately 0.5m above the boundary wall and adjoining glazed roof. This arrangement would enable direct views into the ground floor windows of No. 30 and into the glazed roof and garden of the basement flat, resulting in unacceptable overlooking.</p> <p>The 1.8m screen is not consistently shown across drawings and lacks material specification. The terrace and landing together extend usable space beyond the screening, worsening privacy impacts.</p> <p><i>Officer response:</i></p> <p><i>While the submitted drawings do not include full specification details of the proposed 1.8m privacy screen, a planning condition will be imposed requiring the applicant to submit full details of the privacy screen (including height, materials, design and positioning) for the Council's approval prior to commencement of development.</i></p> <p><i>The application also includes a green roof. This would also serve to curtail users from walking to the side and overlooking neighbouring properties.</i></p> <p><i>The terrace shall not be brought into use until the approved privacy screen has been installed, and it will be required to be permanently retained thereafter. This condition will ensure that neighbouring amenity, including privacy, is appropriately safeguarded.</i></p> Loss of Daylight, Sunlight and Outlook <p>The glazed roof over the rear extension at No. 30 provides essential natural daylight to the basement flat. The proposed 3m-deep terrace, due to its elevated position and close proximity to the boundary, would reduce sky visibility and create a greater sense of enclosure.</p> <p>The proposed 1.8m screen would either reduce daylight further (if opaque) or fail to prevent overlooking while still limiting light (if transparent), resulting in an inherent conflict between protecting</p> 					

privacy and preserving daylight.

Officer response:

The primary function of the proposed 1.8m privacy screen is to prevent overlooking and safeguard neighbouring privacy. The screen will be positioned along the boundary and is not considered excessive in height in the context of typical boundary treatments.

In addition, the proposed screen would not breach the 45-degree line when measured from the centre point of the nearest habitable room windows at No. 30 (vertically and horizontally). As such, it is not considered that the development would result in an unacceptable loss of daylight or create an undue sense of enclosure.

On this basis, and subject to the condition requiring detailed approval of the privacy screen prior to commencement, the proposal is considered to comply with Policy A1 of the Camden Local Plan.

3. Noise and Disturbance

The enlarged terrace and staircase adjacent to the boundary would increase activity and noise directly beside neighbouring habitable rooms and garden space, further impacting residential amenity.

Officer response:

The proposal does not involve an increase in the number of residential units or a change in use. The property will remain a single dwelling, and the level of activity associated with the terrace and garden is therefore expected to be comparable to that of the existing residential use.

The terrace and staircase provide alternative access and outdoor space but do not introduce a more intensive form of use. As such, it is not considered that the proposal would result in a materially greater level of noise or disturbance than the lawful use of the existing garden area. Accordingly, the development is not considered to cause unacceptable harm to neighbouring residential amenity under Policy A1 of the Camden Local Plan.

4. Excavation and Structural Concerns

Proposed patio excavation works close to the boundary raise concerns about structural stability and the integrity of the boundary wall.

Officer response:

Matters relating to structural stability, construction methodology, and the integrity of boundary walls fall within the remit of Building Control and are subject to compliance with the Building Regulations. These matters are not controlled through the planning process.

In addition, any works affecting a shared or adjoining boundary wall may require agreement under the Party Wall etc. Act 1996, which is a

separate civil matter between the respective property owners.

Accordingly, structural stability and party wall matters are not material planning considerations in the determination of this application.

The Parkhill Conservation Area Advisory Committee (CAAC) raised objections against the development

The following objections were raised:

1. Materials - The Design and Access Statement states that the proposed joinery will be finished in white. However, the application form specifies that the proposed windows and doors will be constructed in UPVC. The use of UPVC is generally considered inappropriate within a Conservation Area due to its appearance and impact on historic character. Clarification is required, and timber joinery would be more appropriate in this context.

2. Insufficient Drainage Details - The application does not provide sufficient detail regarding foul and surface water drainage. The proposed additional bathrooms, enlarged terrace, and roof area will increase demand for both foul and surface water disposal. The application form indicates that surface water will discharge to a soakaway (with reference to rainwater harvesting), while foul drainage is stated as "unknown". This lack of clarity is unsatisfactory and does not provide confidence that appropriate drainage arrangements have been adequately considered.

3. Loss of Landscape Amenity / Tree Impact - The existing site plan appears to show a mature tree within the site, which is not indicated on the proposed site plan. No details are provided regarding the species, condition, or proposed retention or removal of the tree. As the site lies within a Conservation Area, works to trees may require consent. The absence of arboricultural information and clarity regarding tree retention is a matter of concern.

Parkhill CAAC:

Officer response:

1. Materials

Clarification has been sought from the applicant regarding the proposed joinery. It has been confirmed that the existing windows and doors are already constructed in UPVC, and the proposal does not introduce a change in material. As such, there would be no alteration to the external appearance of the building in this respect beyond the existing situation.

2. Drainage Details

The details of foul and surface water drainage fall primarily within the remit of Building Control rather than being a material planning consideration in this instance. The proposal does not raise strategic drainage concerns, and compliance with drainage standards will be assessed separately under the Building Regulations process.

3. Tree / Landscape Impact

No works to remove or alter any trees have been proposed as part of this application. In the absence of any plans indicating tree removal or pruning, it is assumed that the existing tree(s) will be retained. As the site lies within a Conservation Area, any future works to trees would require the appropriate

	<p><i>notification or consent. On this basis, there is no arboricultural harm arising from the current proposal.</i></p>
--	--

Site Description

The application site comprises Flat A at No. 28 Parkhill Road, located on the eastern side of Parkhill Road within the Parkhill Conservation Area. The property forms part of a large semi-detached building subdivided into self-contained flats over three storeys. Flat A occupies the lower ground floor and ground floor. Due to the sloping topography of the area, the rear garden lies at lower ground floor level.

The host building is neither statutorily nor locally listed but it makes a positive contribution to the character and appearance of the Parkhill conservation area. The surrounding area is predominantly residential in character, with substantial semi-detached dwellings, mature landscaping, and established rear gardens.

Relevant History

The application site has no relevant planning history

Neighbouring Properties and Relevant Permissions

Flat C 34 Parkhill Road London NW3 2YP

2024/2614/P, "*Erection of a ground floor side and rear wraparound extension, and the installation of 4 rooflights on the proposed extension.*" **Granted on 27-06-2024**

42 Parkhill Road, London NW3 2YP

2022/3584/P, "*Erection of a single-storey lower ground floor rear extension, installation of iron railings at upper ground floor level to form a terrace, and installation of a rear external staircase.*" **Granted on 18-10-2022**

32A Parkhill Road, London NW3 2YP

2020/4795/P, "*Erection of a single-storey rear extension following demolition of the existing structure.*" **Granted on 19-11-2020**

30A Parkhill Road, London NW3 2YP

2018/2931/P, "*Erection of a single-storey rear extension, outbuilding within the rear garden, and alterations to the boundaries in association with the use of the property as a single-family dwellinghouse (Use Class C3).*" **Granted on 17-08-2018**

Relevant policies

National Planning Policy Framework (2024)

The London Plan (2021)

Camden Local Plan (2017)

A1 Managing the impact of development

D1 Design

D2 Heritage

A3 Biodiversity

CC2 Adapting to climate change

Camden Planning Guidance

Amenity (2021)
Design (2021)
Home Improvements (2021)

Parkhill and Upper Park Conservation Area Appraisal and Management Strategy (2011)

Draft Camden Local Plan (DCLP)

The council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The Proposed Submission Draft Camden Local Plan was submitted to the Secretary of State for Housing, Communities and Local Government on the 3 October 2025 for independent examination, in accordance with Regulation 22 of the Town and Country Planning (Local Planning) (England) Regulations 2012 (as amended). The Plan will now be examined by a Planning Inspector.

Previously, the Council published the draft new Camden Local Plan for consultation in January 2024 and published an updated Proposed Submission Draft Camden Local Plan for consultation from 1 May to 27 June 2025. The Proposed Submission Draft Local Plan is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to an emerging plan increases as it progresses towards adoption. In line with paragraph 49 of the National Planning Policy Framework (NPPF), the degree of weight to be given is a matter for the decisionmaker, having regard to the stage of preparation.

Assessment

1. Proposal

- 1.1.** Planning permission is sought for the erection of a full-width single-storey lower ground floor rear extension across the main building, together with the creation of a balcony at upper ground floor level above the proposed extension.
- 1.2.** The proposed lower ground floor extension would provide improved bedroom accommodation and it would have a maximum depth of approximately 3m, a height of 3m with flat roof and an increase in internal floorspace of approximately 22.5 square metres.
- 1.3.** At upper ground floor level, the proposal would include a balcony with a 1.8 m-high privacy screen and a green roof area of 4.8sqm, located along the boundary between No. 30 and the application site.

2. Planning Considerations:

The principal planning considerations material to the determination of this application are:

- Design and Heritage
- Amenity

3. Design and Heritage

- 3.1.** The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within Policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 states that in order to maintain the character of

Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

- 3.2.** The Parkhill and Upper Park Conservation Area Appraisal and Management Strategy (CAA) paragraph 7.2 states that development proposals must preserve or enhance the character and appearance of the Parkhill and Upper Park Conservation Area. This requirement also applies to developments located outside the Conservation Area if they impact its setting or views into or out of the area. High-quality design and execution are essential for all new developments, regardless of scale.
- 3.3.** The CAA at paragraph 7.2 (Rear garden spaces) states that development that results in the loss of private open spaces in rear gardens is generally unacceptable, as these spaces contribute positively to the character and appearance of the conservation area. Any development within rear gardens should maintain the overall sense of openness and ensure that most of the existing garden space is preserved. Special attention should be given to developments in prominent rear garden locations, such as corner sites, where the visual impact may be more significant.
- 3.4.** The proposed lower ground floor rear extension, although modestly increasing the built footprint, would only extend across the rear of the main building, with a maximum depth of approximately 3 metres and a flat roof height of 3 metres. The scale and proportions of the extension are considered subordinate to the host building and reflective of the prevailing pattern of rear extensions along this part of Parkhill Road. The proposal would retain sufficient rear garden space, including a patio area, thereby safeguarding the amenity of current and future occupiers.
- 3.5.** The proposed materials, including brickwork to match the existing building and aluminium doors and windows, are considered appropriate. It is noted that a number of neighbouring properties along Parkhill Road have implemented similar rear extensions, including No.34 (ref. 2024/2614/P) No. 42 Parkhill Road (ref. 2022/3584/P), 36-38 Parkhill Road (ref. 2022/1806/P) and No. 30 Parkhill Road (ref. 2018/5411/P). These developments demonstrate that rear extensions of this scale and form are characteristic of the area. By reason of its rear location, the proposed extension would not be visible in public views and would not impact upon the character or appearance of the street scene or the wider Parkhill Conservation Area.
- 3.6.** At upper ground floor level, the proposal includes the formation of a balcony above the extension, incorporating a 1.8m-high privacy screen along the boundary with No. 30. The balcony is considered ancillary to the residential use of the property. There is also a staircase located centrally, leading down to the lower ground floor, which would not impact the character or appearance of the conservation area.
- 3.7.** It is considered that the proposals would not result in harm to the character and appearance of the host property and would preserve the special character of the Parkhill Conservation Area, in accordance with policies D1 and D2 of the Camden Local Plan 2017 and the Parkhill and Upper Park Conservation Area Appraisal and Management Strategy (2011).

4. Amenity

- 4.1.** Policy A1 of the Camden Local Plan seeks to protect the quality of life of occupiers and neighbouring residents by ensuring that development does not result in unacceptable harm to residential amenity. This includes consideration of privacy, overlooking, daylight, sunlight, and outlook.

- 4.2. The proposed lower ground floor rear extension would project less than 0.5 metres beyond the rear building line of no. 30. Given this limited projection, together with its modest height of 3 metres and flat roof form, the extension is not considered to result in unacceptable harm to neighbouring amenity by way of being unduly overbearing or overshadowing. The extension would not breach vertical or horizontal 45-degree lines from the centre of the rear facing windows of the nearest habitable rooms at the attached property (30 Parkhill Road) and as such, it would not be unduly overshadowing or result in a significant loss of outlook or light from the rooms (or garden) at this or any other sites.
- 4.3. At upper ground floor level, the proposal includes a balcony with a 1.8m-high privacy screen and a green roof area of 4.8sqm positioned along the boundary with no.30. Access to the rear garden is provided via a staircase located centrally within the garden, rather than along the boundary. Due to its central position and orientation, the staircase would not facilitate direct views into neighbouring windows or private garden areas and would therefore not result in harmful overlooking.
- 4.4. Two conditions will be imposed requiring the submission and approval of full details of the proposed privacy screen and the green roof, including its height, materials, and design, prior to commencement of development. The approved screen shall be installed before the balcony is first brought into use and retained thereafter, in order to safeguard neighbouring privacy and prevent overlooking.
- 4.5. It is therefore considered that the proposed development would not result in a significant adverse impact on the amenity of neighbouring occupiers and would comply with Policy A1 of the Camden Local Plan 2017.

5. Conclusion and Recommendation

- 5.1. In conclusion, the proposed works would preserve the character and setting of the host building and the character and appearance of the Parkhill Conservation Area. It would also safeguard the amenity of the adjoining occupiers in terms of overlooking, loss of daylight and sunlight and loss of outlook. The proposals are therefore considered to accord with the requirements of Policies A1, D1 and D2 of the Camden Local Plan 2017 and the Parkhill and Upper Park Conservation Area Appraisal and Management Strategy (2011). The development also accords with the London Plan 2021 and the National Planning Policy Framework 2024. It is therefore recommended that planning permission be granted subject to relevant conditions.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 16th March 2026, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.